

# Design Report

143A Stoney Creek Road, Beverly Hills, NSW

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May 2020

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The Site

143A Stoney Creek Road is located on a key thoroughfare within the neighbourhood of Beverly Hills. Although bounding residential uses, the site is in close proximity to retail, industrial, aged care and public amenities.

The site currently holds a single storey commercial building and car park. It benefits from a dual frontage to Stoney Creek Road and Cambridge Street, with good visibility on approach from King Georges Road to the east, and Forrest Road to the west.

The Opportunity

The subject site is located in close proximity to the business and retail hub on King Georges Road. The site is well served by public transport with Beverly Hills Train Station approximately 600 metres from the site and bus services available on King Georges Road and other local roads.

The majority of the site is zoned SP2 Infrastructure (Public Administration) and offers an opportunity for development on a key corner site, in line with development patterns along Stoney Creek Road.

The Proposed Development

The proposal envisages an 2 - 3 storey building, comprising a multi-tenancy medical centre and a basement carpark.

The massing and materiality is designed with consideration to neighbouring buildings, with heavy articulation tuned to each facade to manage both built and street front interfaces.

The massing of the building references the prevailing street pattern and built form, presenting a fine grain response in keeping with the neighbours. The selected materiality of face brickwork, and recessive dark tones allows the building to sit comfortably in its context.

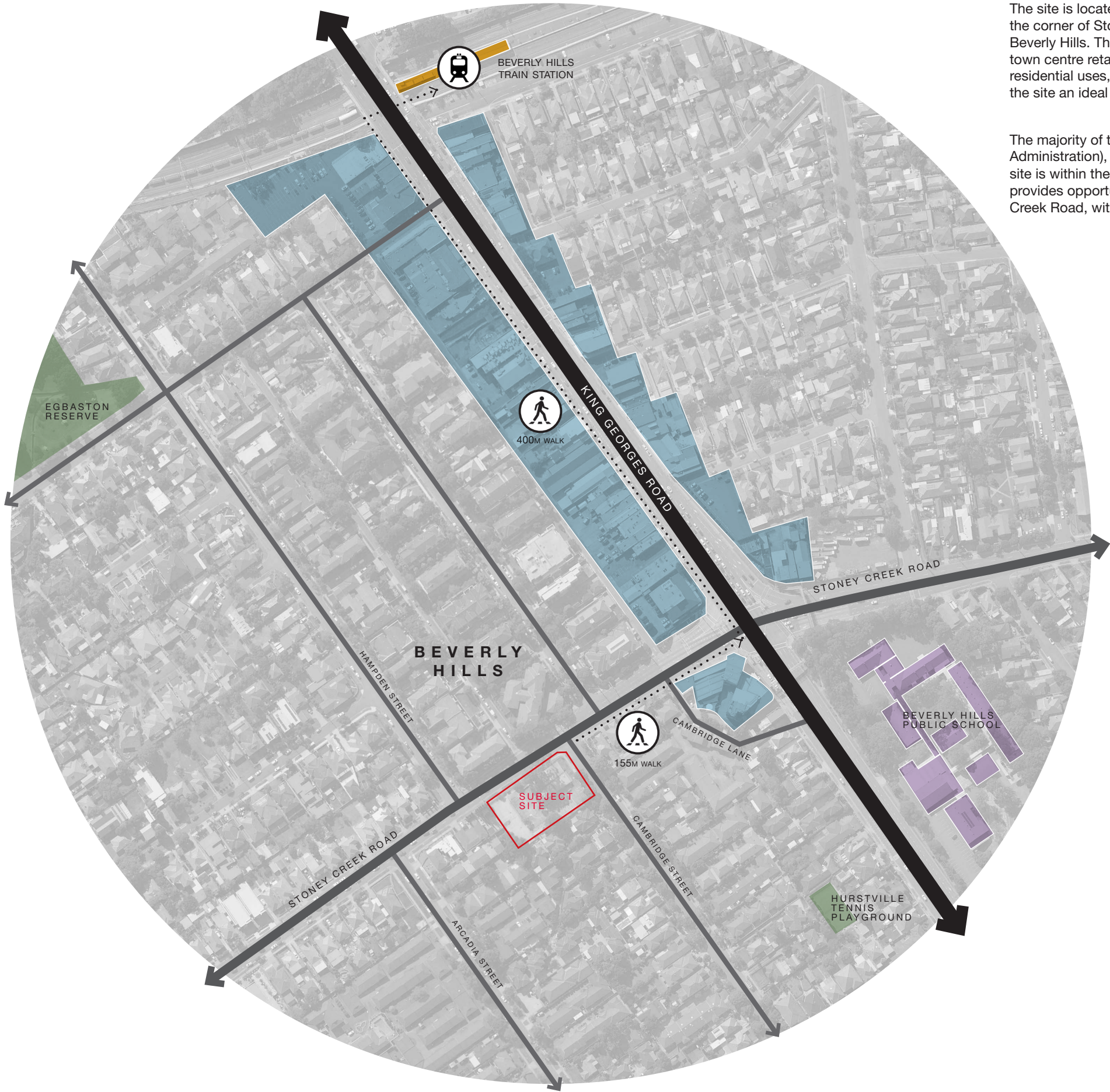
Project Details

Medical Centre  
3 storeys and 3 levels of basement carparking  
Site area: 2454.8m²





## 2.0 Urban Context and Site Analysis



The site is located at 143A Stoney Creek Road, situated at the corner of Stoney Creek Road and Cambridge Street, Beverly Hills. The site is in close proximity to the Beverly Hills town centre retail, public transport, and schools. Surrounding residential uses, retail, and nearby aged care facilities make the site an ideal location for a medical centre.

The majority of the site is zoned SP2 Infrastructure (Public Administration), while a portion of the western side of the site is within the R2 Low Density Residential zone. The site provides opportunity for an active frontage along Stoney Creek Road, with a secondary address to Cambridge Street.

Legend	
	Subject Site
	Major Road
	Minor Road
	Local Road
	Pedestrian Access
	Commercial
	Education
	Transport
	Recreation





The site is currently occupied by a single storey commercial building and open car park to the southern and western boundaries. A significant tree marks the site along Stoney Creek Road, with smaller street trees marking the vehicular entry on Cambridge Street.



**View 1**

Western corner of subject site,  
Looking east across Stoney Creek Road



**View 2**

Northern corner of subject site



**View 3**

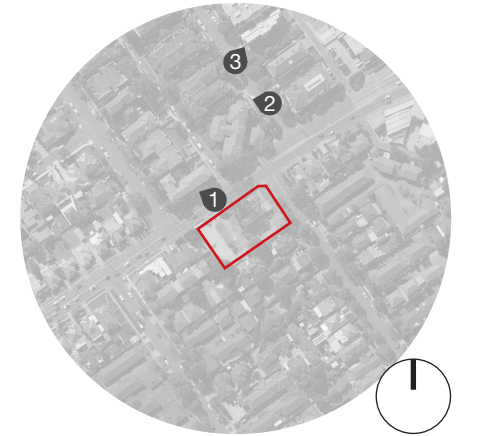
Eastern corner of subject site,  
Looking west across Cambridge street



## 2.0 Urban Context and Site Analysis

### 2.03 Site Context Photographs

The current surrounding context is a mix of 1 and 2 storey residential developments to the south and 3-4 storey residential development to the north and along King Georges Road.



**2-4 Melvin Street**

3 storey residential building,  
opposite the subject site.



**7 Hampden Street**

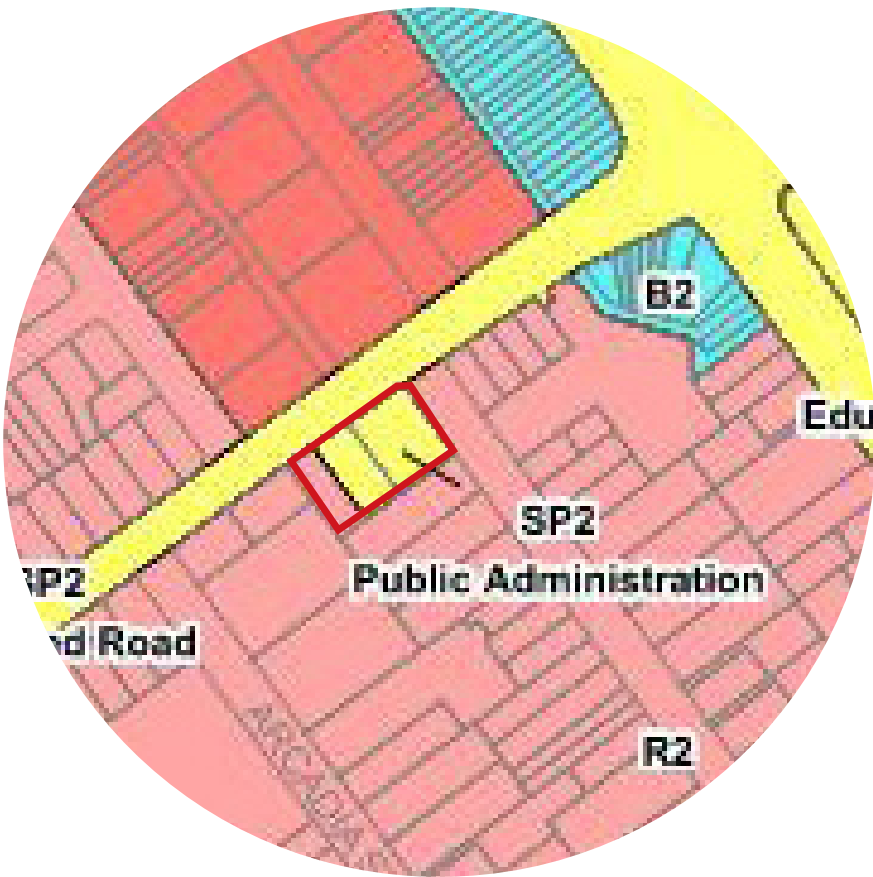
3 storey residential building,  
with basement car park.



**8 Hampden Street**

4 storey residential building,  
with ground floor car park.

The site comprises 2 lots known as 2/-/DP1205598 and 3/-/DP1205598. These lots have two primary zonings of SP2 and R2. The application seeks to consolidate these lots with an appropriate built form response.



Zoning

- B2 Local Centre
- R2 Low Density Residential
- R3 Medium Density Residential
- SP2 Infrastructure

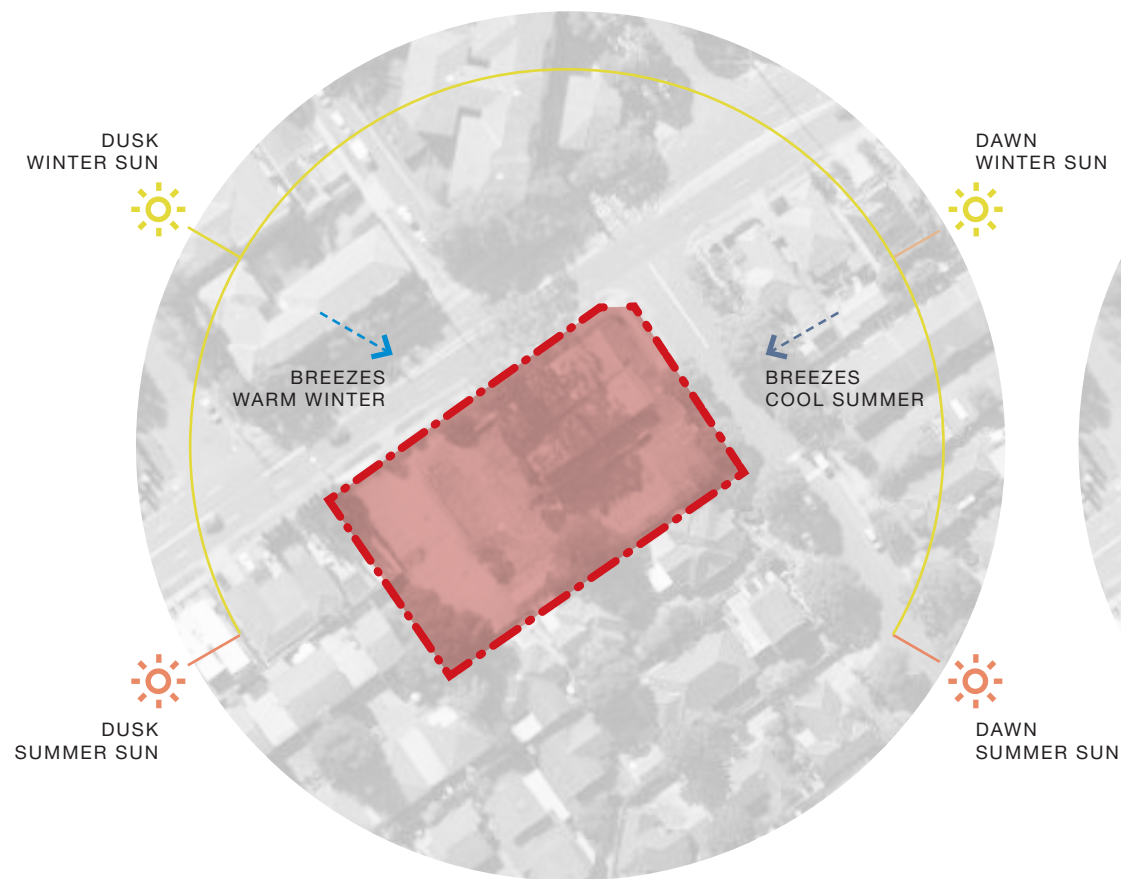
Height

- J 9m
- No Limit
- M 12m
- O 15m

FSR

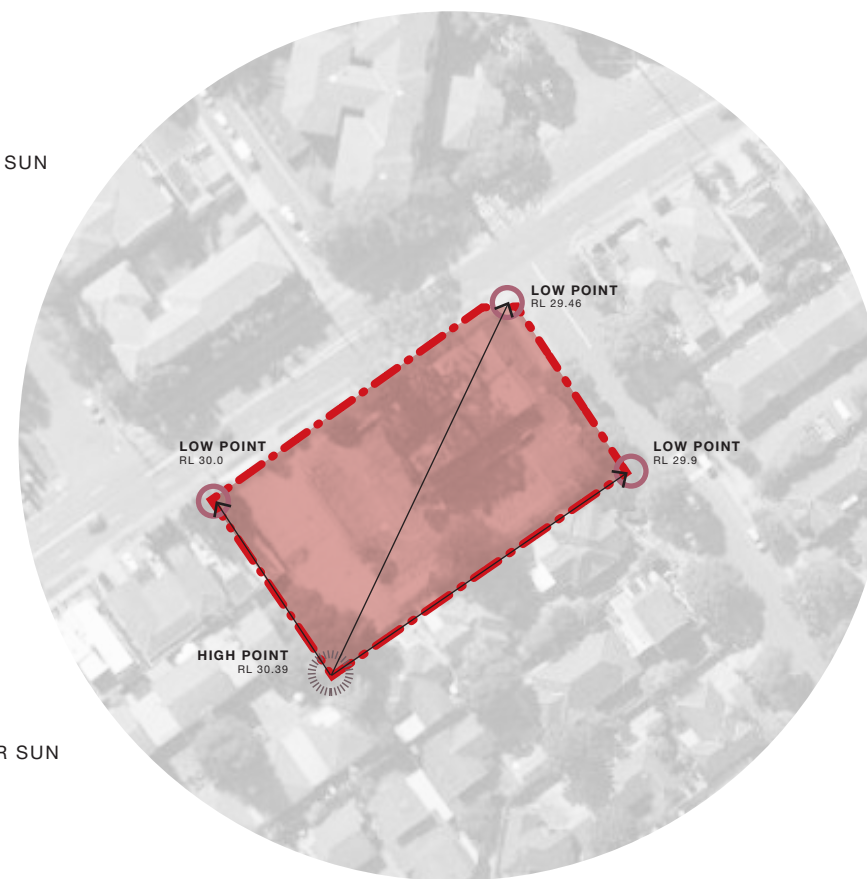
- F 0.6:1
- No Limit
- N 1:1
- T1 2.0:1





### Solar + winds

The site is orientated with its predominant address to the north-east facing the corner of the two streets. The northern aspect is ideally situated to maximise solar access for the best parts of the day



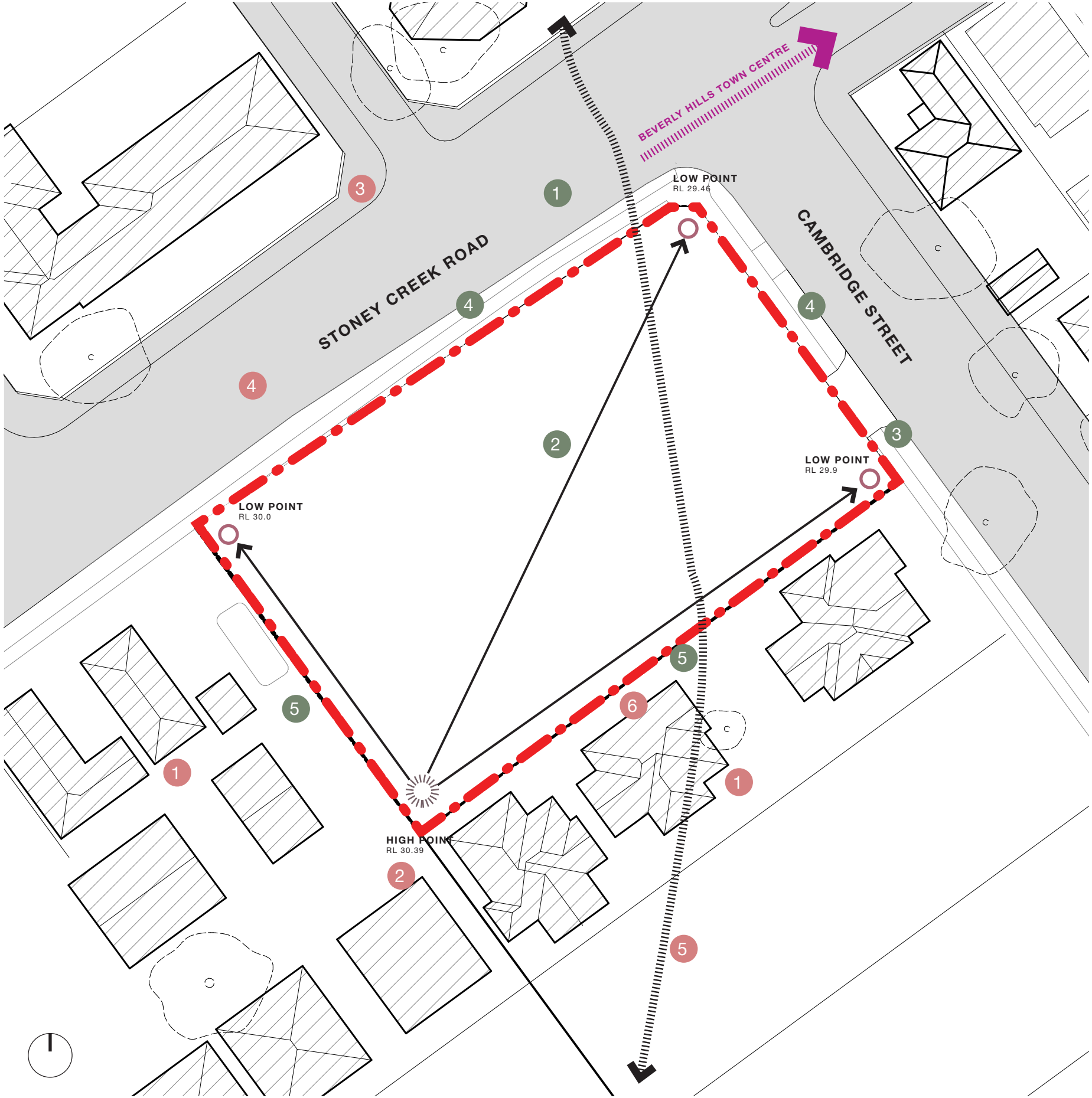
### Topography

The site slopes towards the north at approximately a 1m fall, with a gentle level difference visible in the footpaths



### View

The site's elevation offers opportunities for views to Georges River to the south, while also providing aspects towards Sydney CBD to the north and Botany Bay to the east



- Opportunities
- 1

The site is highly accessible being located on Stoney Creek Road and just 155 metres from King Georges Road. The site is also accessible via public transport with Beverly Hills train station 600 metres from the site and bus stops on King Georges Road and other local roads.
- 2

The site has historically been used for non-residential use. The existing non-residential use of the site can be maintained.
- 3

The existing vehicular crossing from Cambridge Street can be maintained. No new vehicular crossings are required.
- 4

Maintain existing streetscape setbacks along Stoney Creek Road and Cambridge Street
- 5

Existing fences along western and southern boundaries provide an acoustic barrier

- Constraints
- 1

Medium density residential located south and west of subject site.
- 2

The approximate 1m slope difference from the south corner of the site to the north corner of the site. Existing site is flood prone.
- 3

Existing character around subject site is predominately brick residential apartment buildings and houses.
- 4

Subject site located on a busy street, Stoney Creek Road leading towards the town centre in 155m
- 5

Existing Sydney Stormwater Culvert drainage
- 6

Proximity to residential neighbour's amenity









The proposal seeks to anchor the Stoney Creek Road and Cambridge Street corner, responding to the convergence of geometries and heights of neighbouring buildings to the north and east.

The new proposal holds the street corner to provide a clearly demarcated entry point while setting back from the corner to offer relief and visibility to the street.

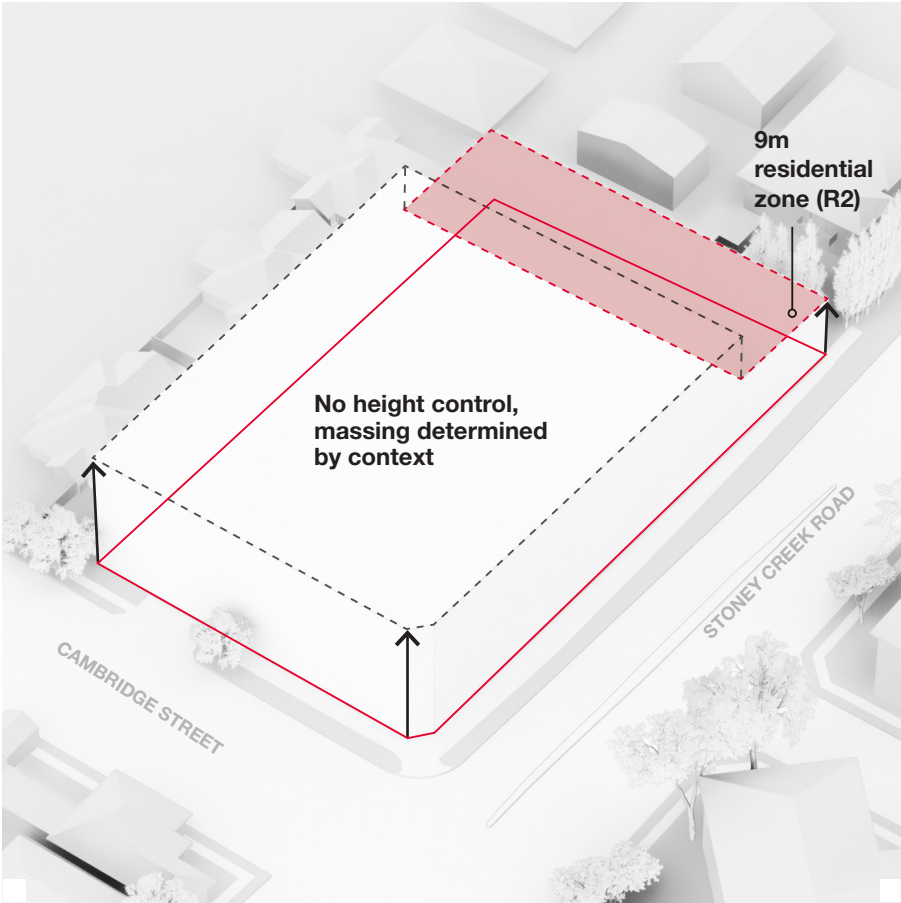
Boundaries to the western and southern neighbours offer greater setbacks with landscaping and screened windows to provide privacy to residential uses.

The site is located in a transition zone between the residential and industrial uses along the western stretch of Stoney Creek Road, to the three storey residential and commercial towards the town centre. The proposal seeks to mediate the change in heights by stepping the form down to lower scale neighbours and integrating a recessed top floor on the south to ensure solar access is maintained to residential neighbours.

Legend	
	Subject Site
	Drainage line
	Redirect drainage line
	1 Storey built form
	2 Storey built form
	3+ Storey built form

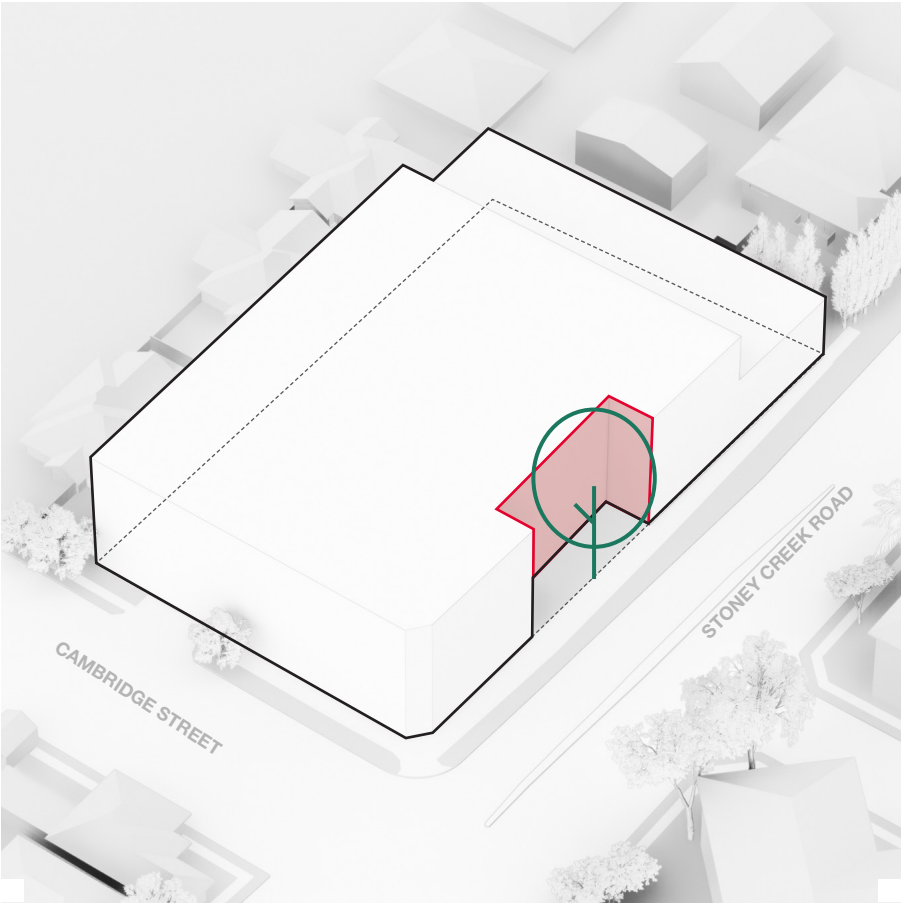


# Design Evolution & Response



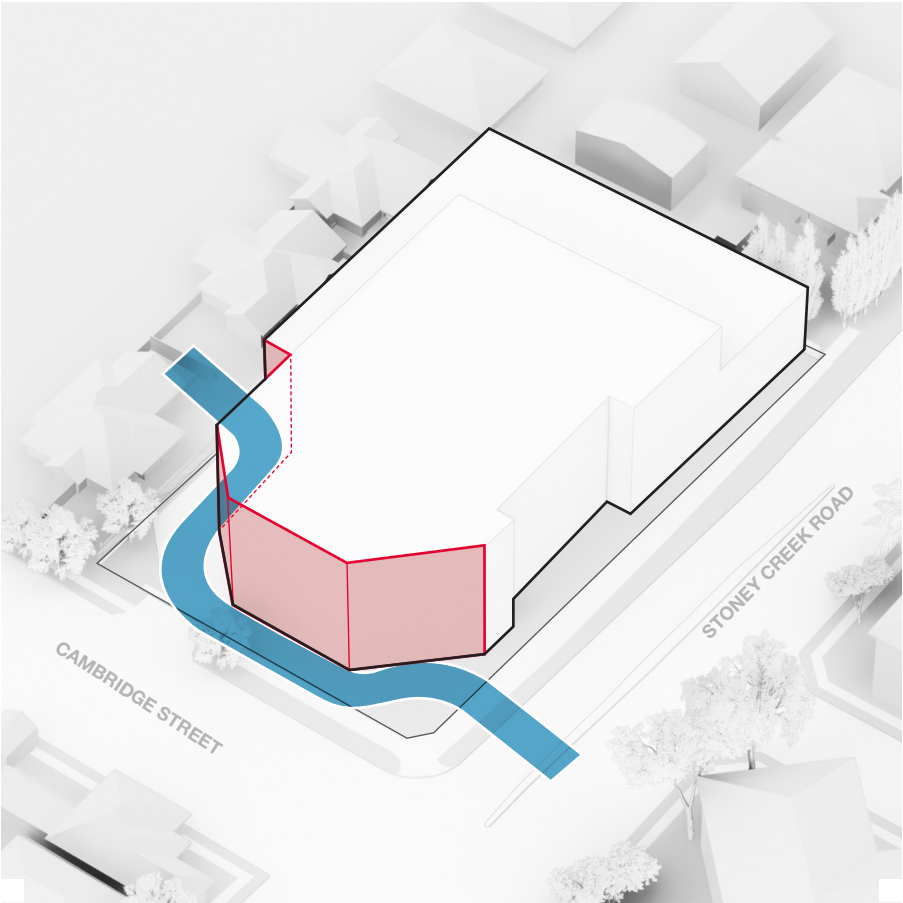
Boundary + Height

Multiple zoning controls lead to variable heights on the subject site.



Tree protection

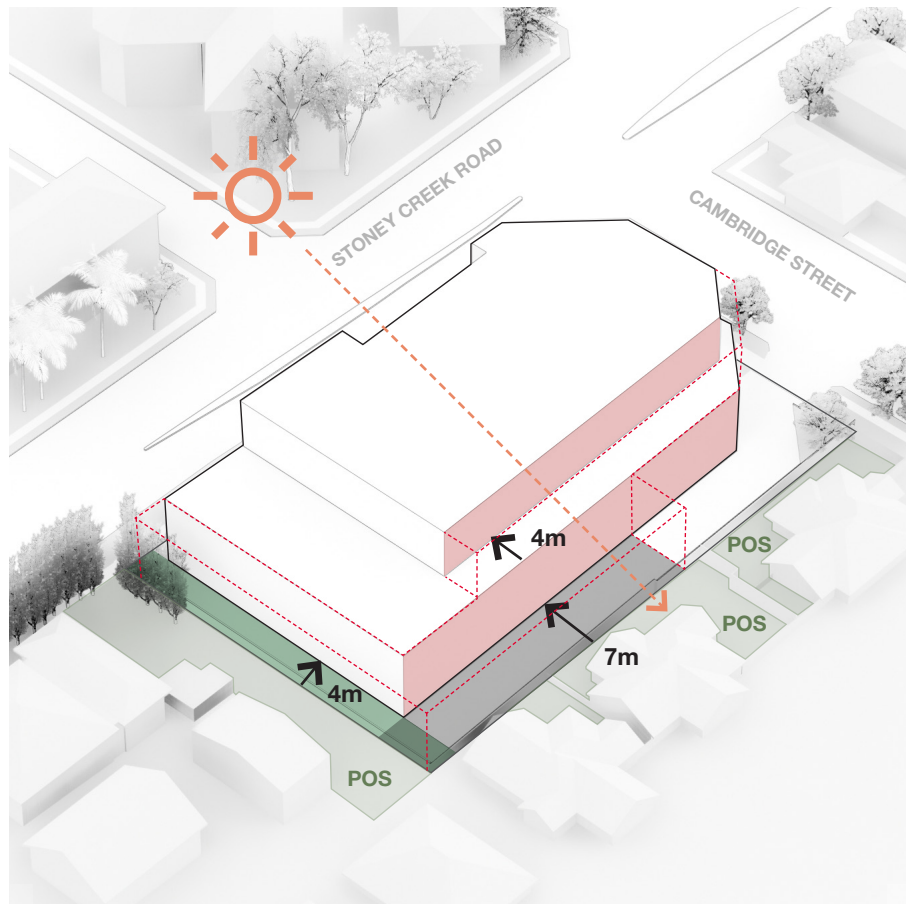
Retaining high level tree along Stoney Creek Road



Drainage channel

Existing stormwater drain to be relocated to Cambridge Street setback with the built form sculpting around extents.

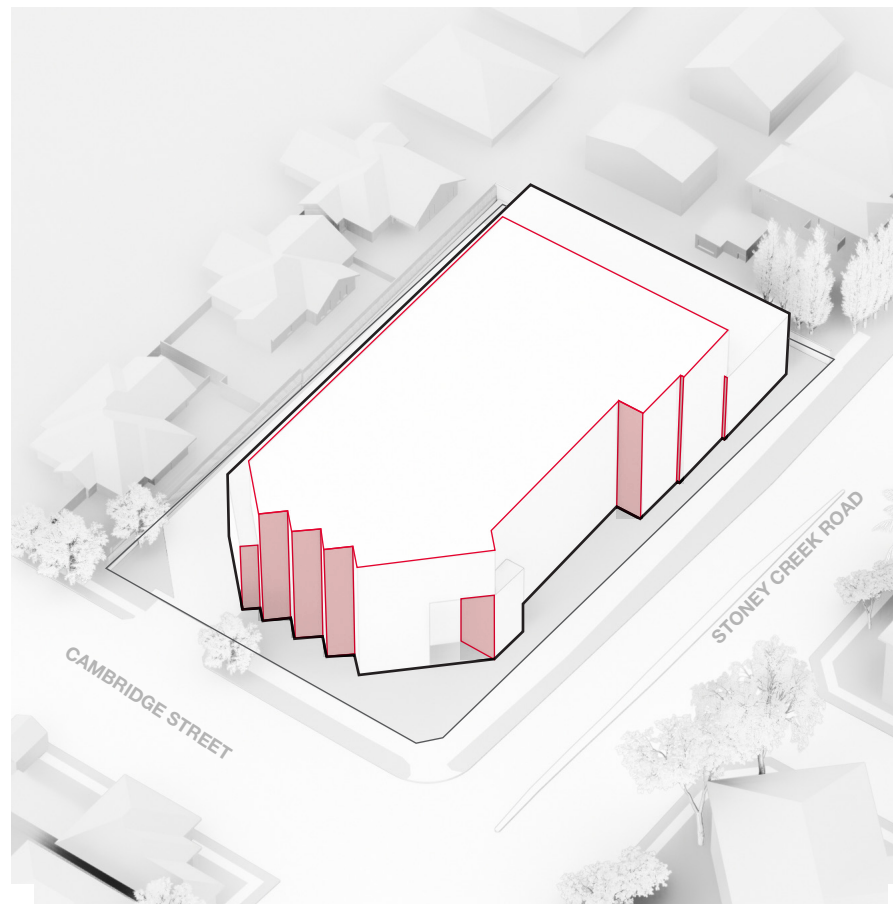




### Rear + Side setbacks

Allow a setback to west to create landscape buffer to neighbour.

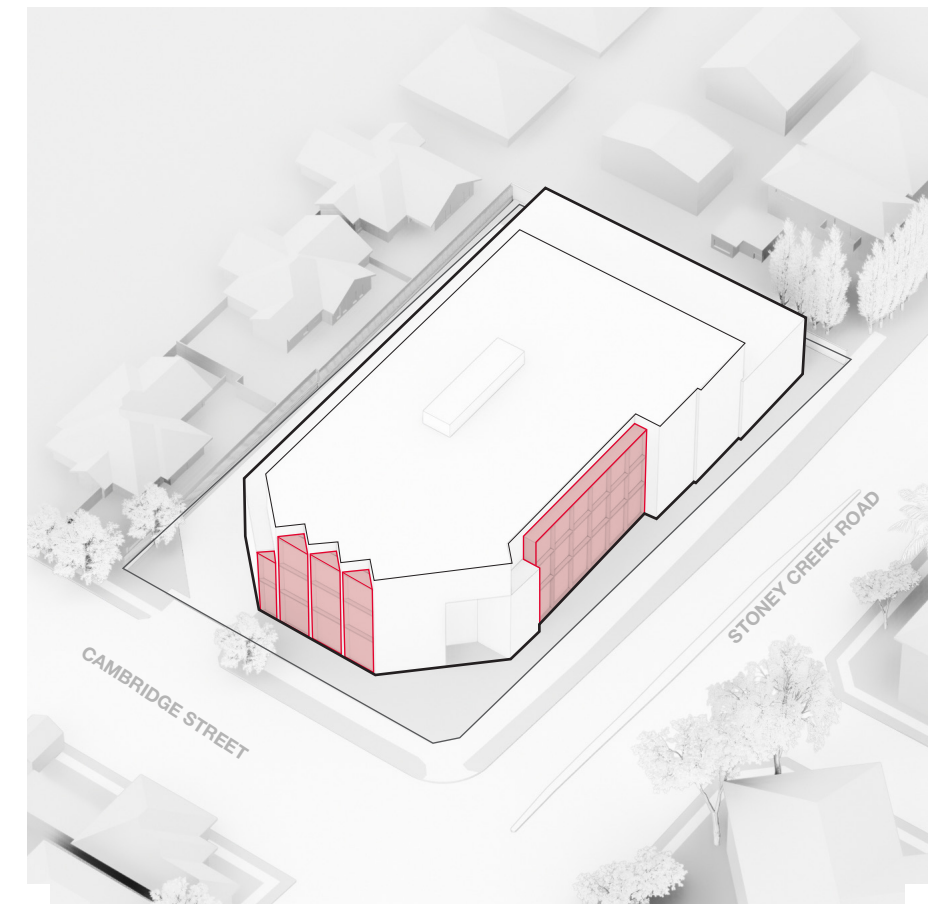
Setback to southern neighbour at ground level, with recessed upper floor to allow daylight access to properties open spaces



### Articulation

Cambridge Street elevation articulated to a finer form to break down the mass to the neighbours along the street.

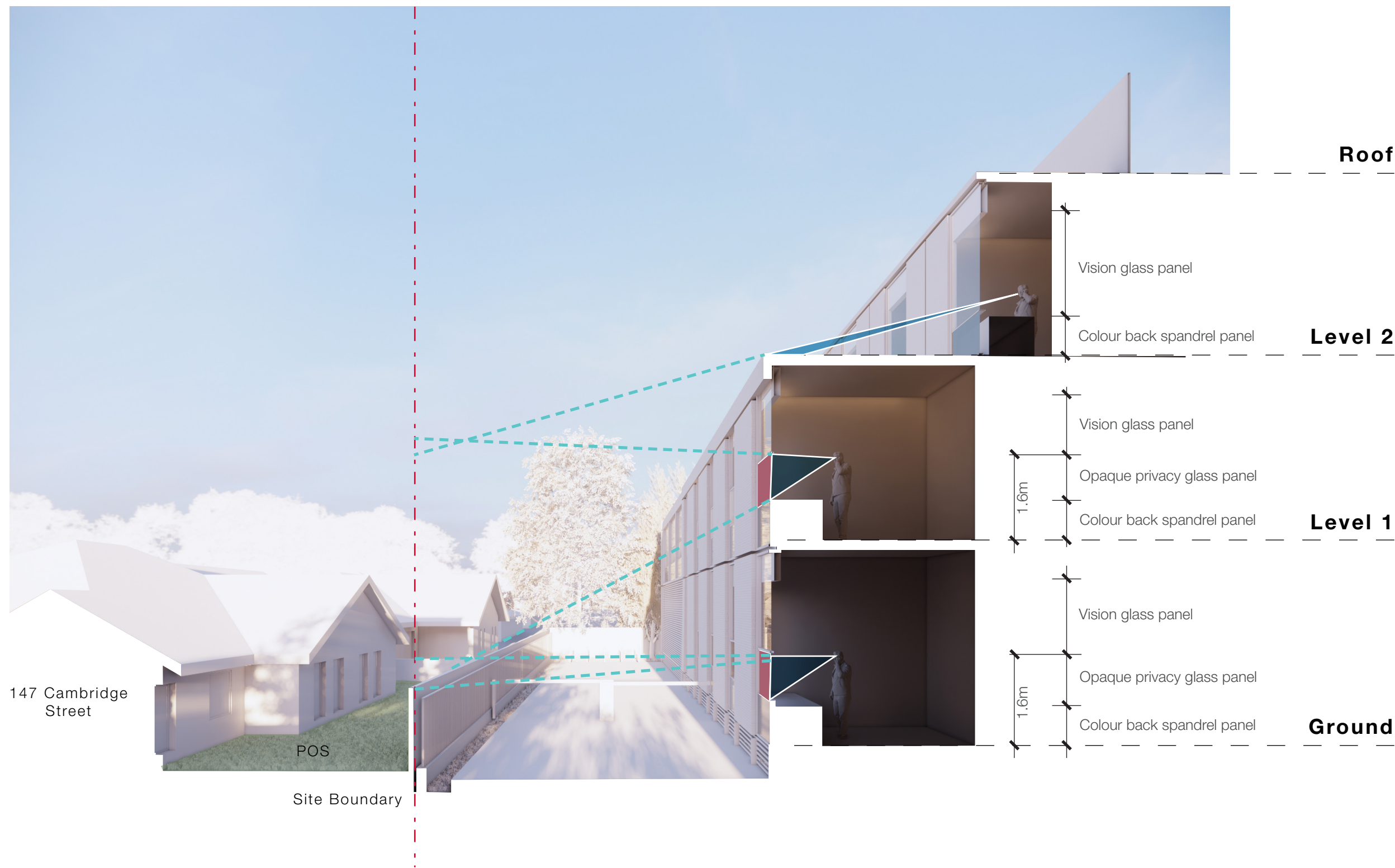
Stoney Creek Road facade mass is refined with smaller moves to reflect the scale of the neighbours to the east



### Crafting

Bay windows inserted into the mass along the street edges to provide a secondary language similar to the architectural style of the residential buildings that surround the site.

Above eye level clear vision glass and opaque glass panels are used along Southern facade of Ground and Level 1 to provide privacy to neighbours private open space. Whereas top floor (Level 2) is further setback such that views are over roofline.











Regina Coeli Catholic Church, Beverly Hills

Familiar

Design proposal to compliment the existing local built form character



Character

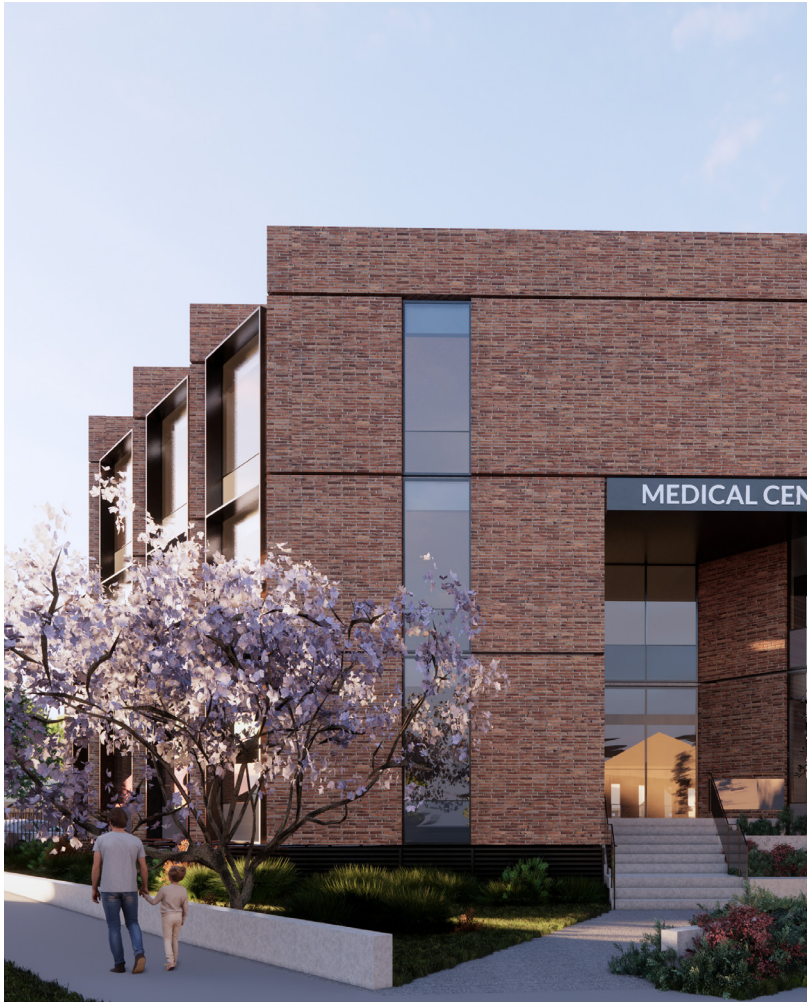
A composition of forms shaped to the site



Unique

Opportunity to create a unique architecturally designed response that contributes to the Stoney Creek Road and Cambridge Street streetscape





Familiar

Design proposal to compliment the existing local built form character



Character

A composition of forms shaped to the site



Bold

Apertures tuned to public & private interfaces



# Design Perspectives











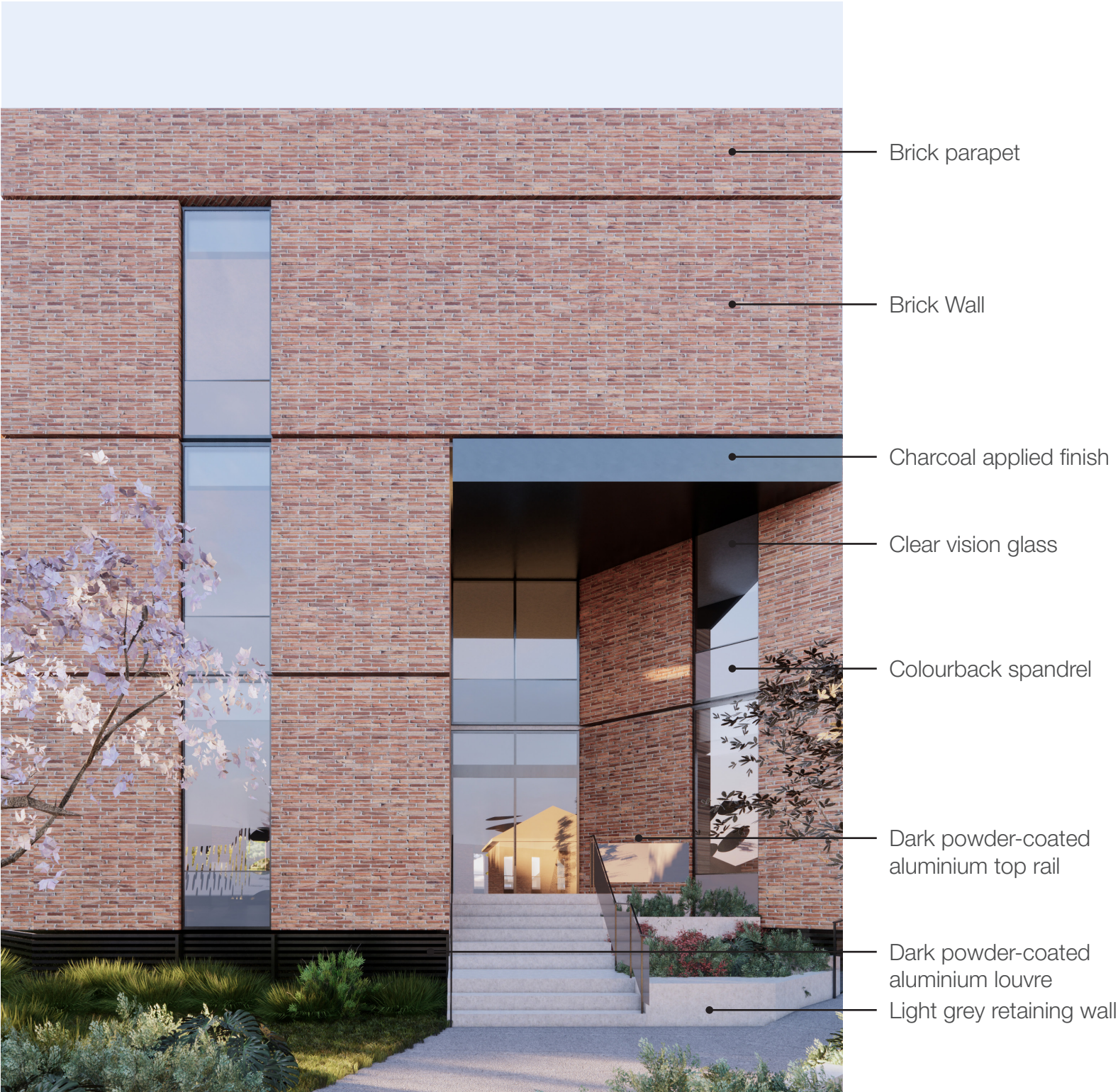








# Materials



Elevational Perspective

BK01

BRICK

AF01

APPLIED FINISH  
- CHARCOAL

AF02

APPLIED FINISH  
- LIGHT GREY

GT01

GLAZING 01  
- CLEAR

GT02

GLAZING 02  
- GREY

GT03

GLAZING 03  
- OPAQUE

MF01

METAL FINISH  
- CHARCOAL

SCR01

SCREEN  
- CHARCOAL

The following palette is representative of the proposed core materials.  
The graphic representation is indicative only.